

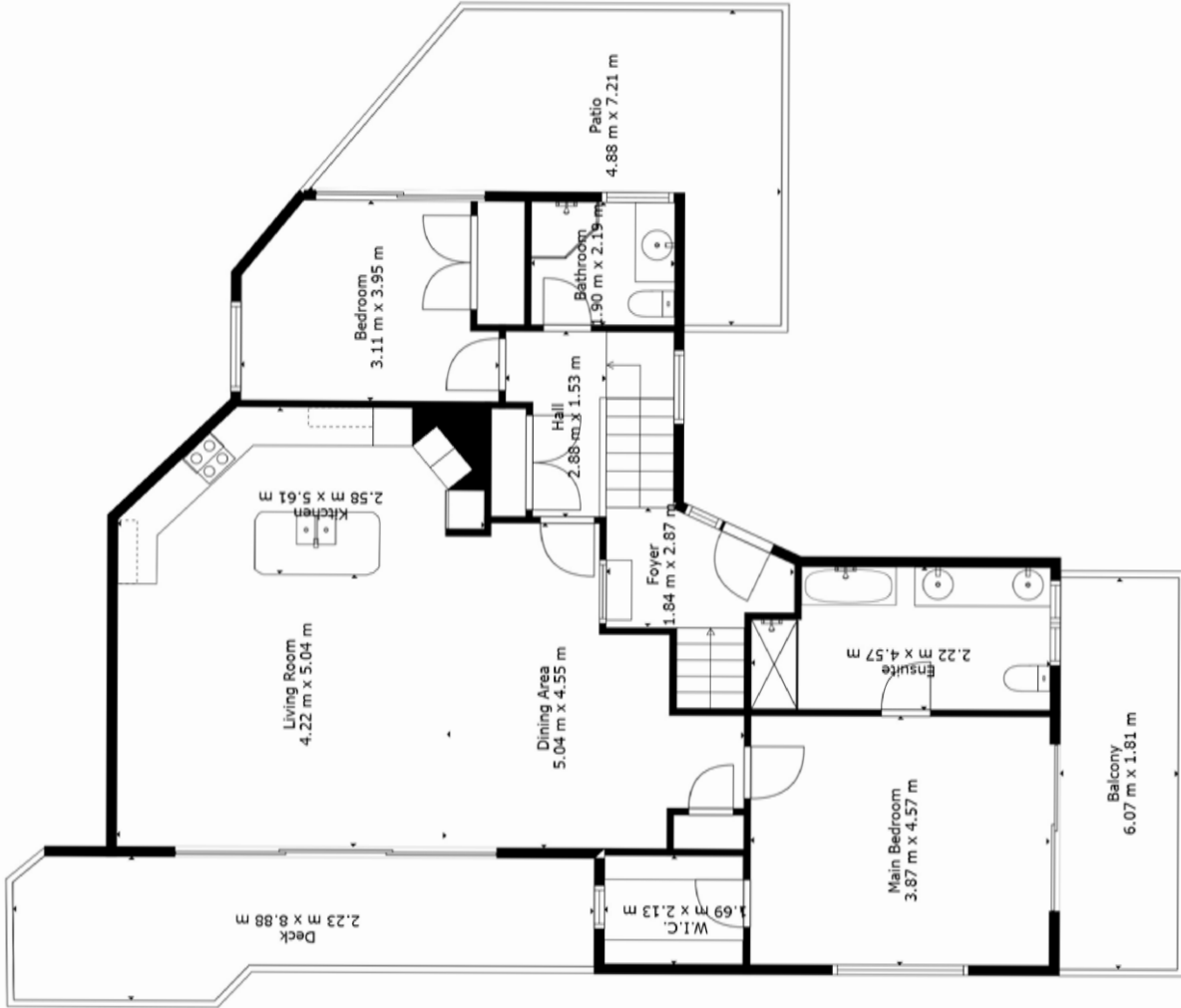


Woodhill  
17 Garden Court

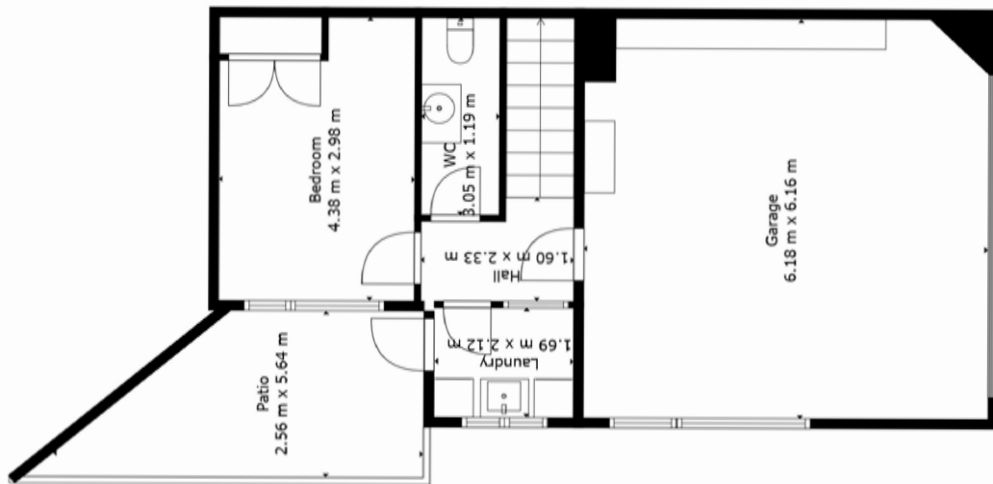
Proudly marketed by Steve and Miriam Davis

**Harcourts**  
Whangarei

# Floorplan



Floor 2



Floor 1



“

...beautiful bush views, privacy, and peace, with plenty of sun...

”



3 2 1 3 2

## Beautiful and Secure Living in Woodhill

**FOR SALE**

**FLOOR AREA** 199sqm

**LAND AREA** 350sqm

Life in the sought after 'Garden Court' complex, situated amongst quality homes couldn't get any better. This contemporary, two-level brick and tile home is well designed, and is sure to delight home buyers and investors.

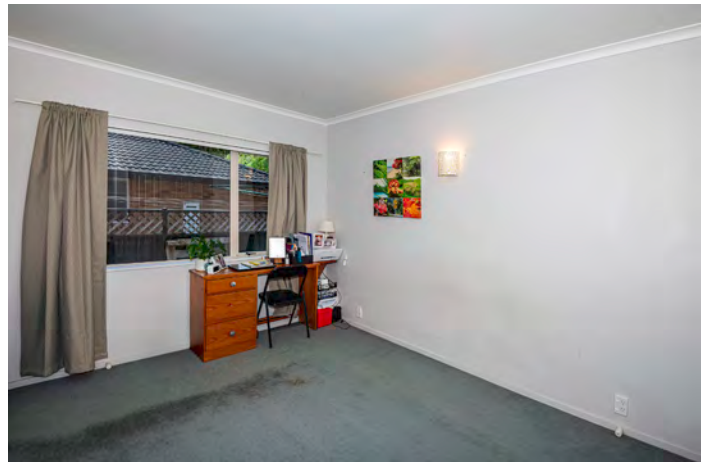
Elevated with beautiful bush views, privacy, and peace, with plenty of sun. As you enter this charming Garden Court complex you are welcomed to beautiful, manicured gardens, with plenty of friendly neighbors and security.

The living area is open plan with good indoor and outdoor flow to the deck for those summer BBQs, the well-appointed kitchen is well positioned with island bench and breakfast bar to allow conversation with family and friends while preparing your favourite meals.

This home offers two double bedrooms upstairs, the master bedroom and ensuite enjoys a balcony of its own, while the 2nd bedroom has access onto a lovely private patio. The third bedroom downstairs has another toilet with sink conveniently located for family or guests. Double garaging with internal access is provided, and a separate laundry with access onto a patio.

Being centrally located there is easy access to the city, schools, kindergartens, Whangarei Hospital and the Marina. With walks, parks, restaurants, and plenty of water activities for those who love the water - there is plenty to do and enjoy! Living in Garden Court is a luxury, book your private viewing, you won't be disappointed!

[harcourtswangarei.co.nz/property/WR46977](http://harcourtswangarei.co.nz/property/WR46977)





# Property Information

<b>Property Type</b>	House
<b>Rooms</b>	Dining Room, 3 Double Bedrooms
<b>Hot Water</b>	Gas
<b>Heating</b>	Gas Mains
<b>Insulation</b>	Ceiling, Floor, Walls
<b>Kitchen</b>	Modern
<b>Dining</b>	Open Plan Dining
<b>Bathrooms</b>	Ensuite, Separate WCs
<b>Lounge</b>	Lounge/Dining Combined
<b>Stove</b>	Gas (retic)
<b>Interior Condition</b>	Good
<b>Exterior</b>	Brick / Masonry Veneer
<b>Exterior Condition</b>	Excellent
<b>Flooring</b>	Carpet, Tiles
<b>Garaging</b>	Automatic Doors, Double, Internal Access, Off St Parking
<b>Fencing</b>	Partially Fenced
<b>Aspect</b>	Westerly
<b>Sewage</b>	Mains
<b>Water</b>	Town
<b>Frontage</b>	ROW
<b>Amenities</b>	Gas in Street

## Features & Chattels

<b>Living Rooms</b>	1
<b>Chattels</b>	Gas Cooktop, Dishwasher, Blinds, Drapes, Fixed Floor Coverings, Garage Door Opener Remote Control, Bathroom Extractor Fan, Heated Towel Rail, Light Fittings, Rangehood, Smoke Detectors, Wall Oven

## Additional Information

<b>More Details URL</b>	<a href="https://harcourtswhangarei.co.nz/property/WR46977">harcourtswhangarei.co.nz/property/WR46977</a>
-------------------------	---

# Rates

Legal Description: LOT 17 DP 195543 - HAVING 1/20 SH IN LOT 21 DP 195543

Assessment Number: 0076128717

Property ID: 104208

Address: 17 Garden Court (Pvt) WHANGAREI 0110

View Maps: [WDC Maps](#) [Google Maps](#)

Land Area (hectares): 0.035

Capital Value: 2024/2025 \$800,000 2025/2026 \$780,000

Land Value: 2024/2025 \$240,000 2025/2026 \$240,000

Record of Title: -

Floor Area (square metres): 199

Site Area (square metres): 199

Improvements: DWG OI

Land Use Code: Residential Single Unit

Number of Units: 1

Property Category: RD200B

WDC			
General Residential	Land Value	240000	\$656.11
Uniform Annual General Charge	SUIPs	1	\$821.00
Sewage Disposal - Residential	Pans	1	\$928.00
<b>Total</b>			<b>\$2,405.11</b>
NRC			
NRC - Regional Council Services	SUIPs	1	\$209.33
NRC - Regional Economic Development	Land Value	240000	\$5.93
NRC - Regional Emergency & Hazard Management	SUIPs	1	\$57.07
NRC - Regional Flood Infrastructure	SUIPs	1	\$40.67
NRC - Regional Land and Freshwater Management	Land Value	240000	\$68.83
NRC - Regional Pest Management	SUIPs	1	\$100.86
NRC - Regional Rescue Services	SUIPs	1	\$11.30
NRC - Regional Sporting Facilities	SUIPs	1	\$16.18
NRC - Regional Transport Rate	SUIPs	1	\$51.81
NRC - Regional Urban Rivers Management - Gen Catchment	SUIPs	1	\$40.78
<b>Total</b>			<b>\$602.76</b>

# Title



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** NA123B/885  
**Land Registration District** North Auckland  
**Date Issued** 02 August 1999

**Prior References**  
NA43B/141

---

**Estate** Fee Simple  
**Area** 350 square metres more or less  
**Legal Description** Lot 17 Deposited Plan 195543  
**Registered Owners**  
Amanda Ann Maera and Tony John Maera

---

**Estate** Fee Simple - 1/20 share  
**Area** 2082 square metres more or less  
**Legal Description** Lot 21 Deposited Plan 195543  
**Registered Owners**  
Amanda Ann Maera and Tony John Maera

---

## Interests

Subject to Section 241(2) Resource Management Act 1991

Subject to a right to drain sewage and stormwater and convey water over part marked Z on DP 195543 specified in Easement Certificate D415723.5 - 2.8.1999 at 2.48 pm (affects Lot 21 DP 195543)

Subject to a right (in gross) to convey water over part marked Z on DP 195543 in favour of Whangarei District Council created by Transfer D415723.6 - 2.8.1999 at 2.48 pm (affects Lot 21 DP 195543)

The easements created by Transfer D415723.6 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey gas over part marked V (affects Lot 17 DP 195543) and over part marked Z on DP 195543 (affects Lot 21 DP 195543) in favour of Natural Gas Corporation of New Zealand Limited created by Transfer D415723.7 - 2.8.1999 at 2.48 pm

The easements created by Transfer D415723.7 are subject to Section 243 (a) Resource Management Act 1991

Subject to a telecommunication right (in gross) over part marked V (affects Lot 17 DP 195543) and over part marked Z on DP 195543 (affects Lot 21 DP 195543) in favour of Telecom New Zealand Limited created by Transfer D415723.8 - 2.8.1999 at 2.48 pm

The easements created by Transfer D415723.8 are subject to Section 243 (a) Resource Management Act 1991

Subject to an electricity right (in gross) over part marked V (affects Lot 17 DP 195543) and over part marked Z on DP 195543 (affects Lot 21 DP 195543) in favour of Northpower Limited created by Transfer D415723.9 - 2.8.1999 at 2.48 pm

The easements created by Transfer D415723.9 are subject to Section 243 (a) Resource Management Act 1991

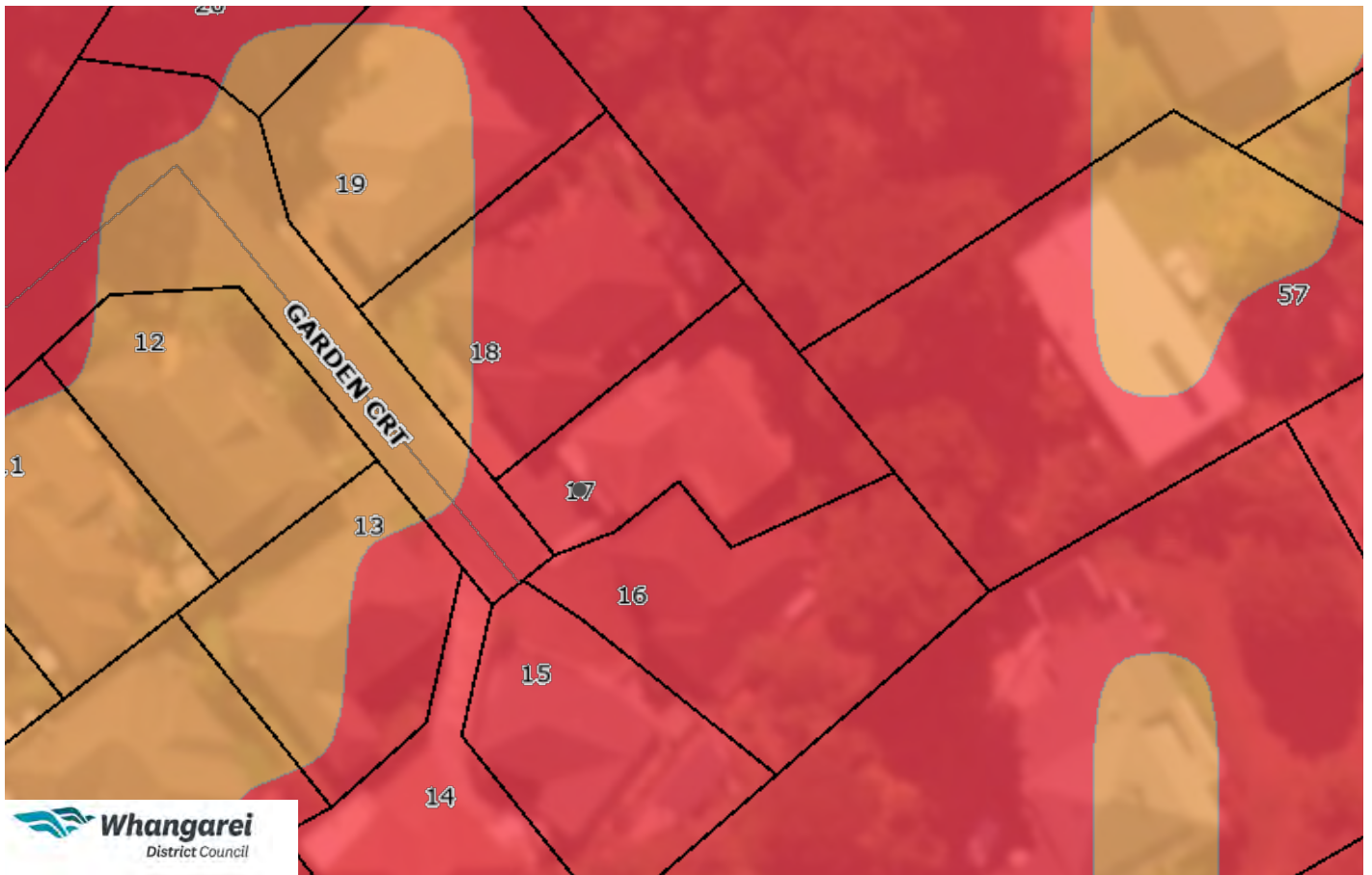
Land Covenant in Transfer D415723.11 - 2.8.1999 at 2.48 pm

D415723.12 Encumbrance to Garden Court Management Limited - 2.8.1999 at 2.48 pm





# WDC GIS Maps - Land Stability



## Land Stability

Landslide Susceptibility Zone



-  High
-  Moderate
-  Low

# WDC GIS Maps - Flood Susceptibility




## Floods

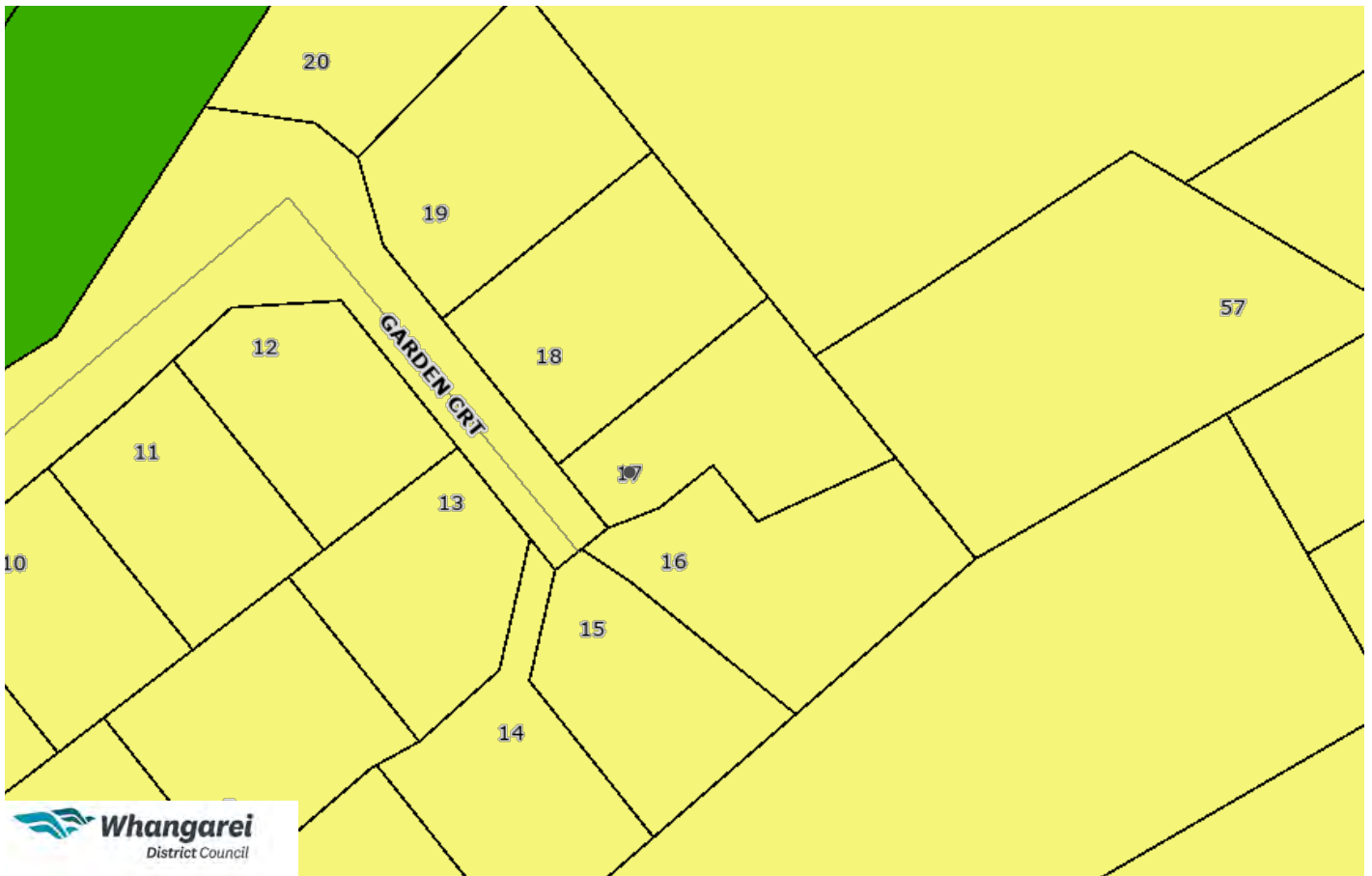
### Flood Susceptible

-  Accepted by Council Decision for District Plan
-  Variation not accepted by Council

### Waipu Cove Flood Management

-  Waipu Cove Flood Management

# WDC GIS Maps - Zoning



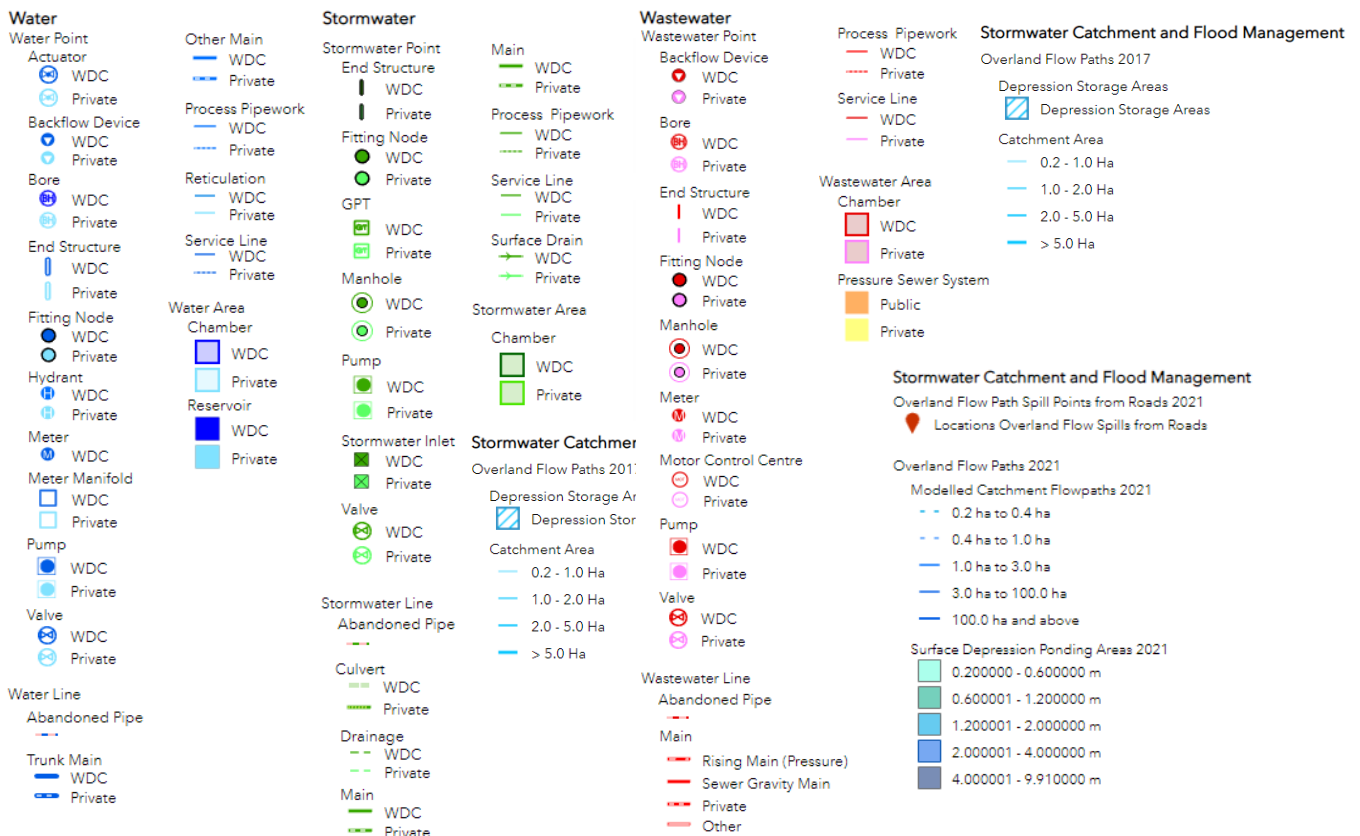
## Residential Zones

-  Large Lot Residential Zone
-  Low Density Residential Zone
-  General Residential Zone
-  Medium Density Residential Zone

# WDC GIS Maps - Assets



## Assets Map





## Rental Appraisal

10 March 2025

**Woodhill** 17 Garden Court

3 2 3 1 2

**Rental Estimate:** \$650.00 - \$700.00 per week

### Comparable Properties

Address	Bedrooms and Bathrooms	Rent Per Week
Cheviot Street, Woodhill	3 Bedrooms, 2 Bathrooms	\$650.00
Kea Place, Woodhill	3 Bedrooms, 2 Bathrooms	\$680.00
Western View Heights, Horahora	3 Bedrooms, 2 Bathrooms	\$699.00

### Are you considering purchasing this home as an investment?

We are a highly experienced award-winning property management team who service the Whangarei area and would be delighted to manage your investment property. We take property management seriously and our results speak for themselves.

**99.54% of our properties are tenanted**

**99.36% of our tenants pay their rent on time**

To ensure your investment property reaches it's full potential, contact us today.

## Harcourts Just Rentals

Your Local Property Management Specialists

09 438 2054 | justrentalsnorth@harcourts.co.nz

Disclaimer: This report is a market appraisal and does not purport to be a valuation, registered or otherwise. It provides an indication only of the amount the subject property may rent for. It has been prepared based on information provided by the owner and incorporates no warranty or guarantee as to the accuracy of the information which the owner has provided. The rental estimate is provided on the presumption that the home meets all legislative requirements under the Residential Tenancies Act and other relevant legislation, regulations and policies (including all Acts or Regulations in amendment, consolidation or substitution thereof). Your property may not be able to be rented if it is not compliant with the Residential Tenancies (Smoke Alarms and Insulation) Regulations 2016. Information about these regulations can be found here: <http://www.tenancy.govt.nz/assets/Uploads/Insulation-requirements.pdf>. This report is solely to provide information to the property owner and / or addressee. Any person, other than the property owner or addressee who relies on this report for any purpose does so in all respects at their own risk.



## Your Salesperson Steve & Miriam Davis

Steve & Miriam Davis are “hardworking”, “extremely professional”, “delightful to work with” and “achieve great results”, what our clients say.

For us Real Estate is all about the people, working and helping our clients to achieve major changes and or goals in their lives. We all come to the point where we need to sell a property for a variety of life-changing reasons. We love helping people to make that change, as smoothly and as successfully as possible, no matter what the challenges.

We work together as ‘Team Davis’ and sell homes with the promise to be ‘committed to working for our clients’. Our goal is to get the best result for you, as the seller. We use strategic marketing campaigns, active selling, clear communication and strong negotiation. With strict industry laws and rules, we do this while protecting all your interests through compliance.

We deliver great results as we aim to work for our clients to secure the best result as we are committed to working for clients. We also give back to our community, which is why we sponsor schools in our local area and find opportunities to get involved in community activities.

You can only sell your property once, so it’s important to do it well. The key to this is Good Marketing. Marketing is a bit like fishing; you need to cast your net well to find the best buyers who will pay the highest price for your property. When we have found the best buyers, we then focus on negotiating the best result. We are results-driven, with testimonials that testify to our success.

So, if you are looking for an experienced real estate sales team, with a commitment to work for you, providing you with a smooth journey through the process while securing the best result, then, please get in touch with us today.

Just a little more about Steve and Miriam:

Steve has acquired excellent skills in sales and marketing and negotiating major multi-million-dollar contracts in a long career in the printing, publishing and packaging industries. Becoming a National Sales Manager in his 20s, and then General Manager in his 30s. He held senior management positions in a variety of National and International companies with extensive overseas business experience.

Miriam’s past experience as a private teacher, facilitator, property manager and sales consultant has given her a clear business head, an eye for detail, oodles of patience, empathetic communication, and organisational skills.

In our spare time, we love spending time with our family and enjoy fishing and outdoor activities or just relaxing at our beach home.

**Steve & Miriam Davis**

**M** 021 820 015 | **P** 09 430 1000

steve.davis@harcourts.co.nz

whangarei.harcourts.co.nz

Optimize Realty Ltd MREINZ | Licensed Agent REAA 2008



## Steve Davis

Licensed Real Estate Salesperson

**M** 021 820 015

[steve.davis@harcourts.co.nz](mailto:steve.davis@harcourts.co.nz)

## Miriam Davis

Licensed Real Estate Salesperson

**M** 027 577 6335

[miriam.davis@harcourts.co.nz](mailto:miriam.davis@harcourts.co.nz)

**Harcourts**  
Whangarei





## Property Documents

This information has been supplied by the Vendor or the Vendors agents. Accordingly, Optimize Realty Limited cannot guarantee its accuracy and reliability.

All intending Purchasers are advised to conduct their own due diligence investigation into the same. To the maximum extent permitted by law, Optimize Realty Limited do not accept any responsibility to any person for the accuracy of the information herein.



**WHANGAREI**  
DISTRICT COUNCIL

**Code Compliance Certificate: 72124**  
**Section 436, Building Act 2004**

**Issued:09Oct06**

Box 365 ✓

---

**The Building**

Street Address of building: 17 GARDEN COURT (PVT), WHANGAREI 0110

Legal Description of land where building is located:  
LOT 17 DP 195543  
LLP 085729

Current, lawfully established use: OTHER & DEMOLITION

Year first constructed: 09 OCTOBER 2006

---

**The Owner**

Name of owner: ABBL DEVELOPMENTS LTD  
Mailing Address: C/- MALCOLM AYLWARD  
APOTU RD  
R D 1 KAMO  
WHANGAREI

Contact Person: ABBL DEVELOPMENTS LTD  
Mailing Address: C/- MALCOLM AYLWARD  
APOTU RD  
R D 1 KAMO  
WHANGAREI

Street address/registered office: 17 GARDEN COURT (PVT)  
WHANGAREI 0110

---

**Building Work**

**RETAINING WALL**

Building Consent number: 72124

Issued by: WHANGAREI DISTRICT COUNCIL

*Creating the ultimate  
living environment*

Forum North, Private Bag 9023  
Whangarei, New Zealand  
Telephone: +64 9 430 4200  
Facsimile: +64 9 438 7632  
Email: mailroom@wdc.govt.nz  
Website: www.wdc.govt.nz

## Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that -

(a) the building work complies with the building consent.

---

## Council Charges

The Council's total charges payable on the uplifting of this code compliance certificate in accordance with the attached details are: \$0.00

This is a final code compliance certificate issued in respect of all of the building work under the above building consent



Signature

*Residential Building Team Leader*

Position

On behalf of: WHANGAREI DISTRICT COUNCIL

Date: 09 Oct 2006

**Final Code Compliance Certificate 72124**



**Issue Document**

BUILDING CONSENT No: 72124  
Section 35, Building Act 1991  
Issued: 05Mar04

72124

Project Information Memorandum No: 60775

**Applicant**

ABBL DEVELOPMENTS LTD  
C/- MALCOLM AYLWARD  
APOTU RD  
R D 1 KAMO  
WHANGAREI

**Agent**

ABBL DEVELOPMENTS LTD  
C/- MALCOLM AYLWARD  
APOTU RD  
R D 1 KAMO  
WHANGAREI

**Site Information**

PROPERTY ID: 085729  
STREET ADDRESS: 17 GARDEN COURT (PVT), WHANGAREI 0101  
LEGAL DESCRIPTION: LOT 17 DP 195543

**Project Information**

PROJECT IS FOR: Other & Demolition  
INTENDED USE(S): RETAINING WALL  
INTENDED LIFE: Indefinite but not less than 50 years  
VALUE OF WORK: \$1,750.00  
NUMBER OF STAGES: 1

**Fees**

COUNCIL'S TOTAL CHARGES FOR THIS BUILDING CONSENT ARE: \$80.00  
PAYMENTS RECEIVED TO DATE:  
Receipt number: 2654234 Date: 03Mar04 Amount: \$80.00

This Consent is issued subject to the following conditions:  
=====

1: **General**

ADVICE CLAUSE: An archaeological site has been identified in the vicinity of the proposed building work. Please contact the Department of Conservation to confirm the location of this site.

2: **Dust Nuisance**

The applicant must control dust nuisance created by any site or building works.

3: **Toilet Facilities**

Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.

Signed for and on behalf of the Council

Name: *C. Savery*.....

Signature: *[Handwritten Signature]*.....

Date: *05/03/04*.....

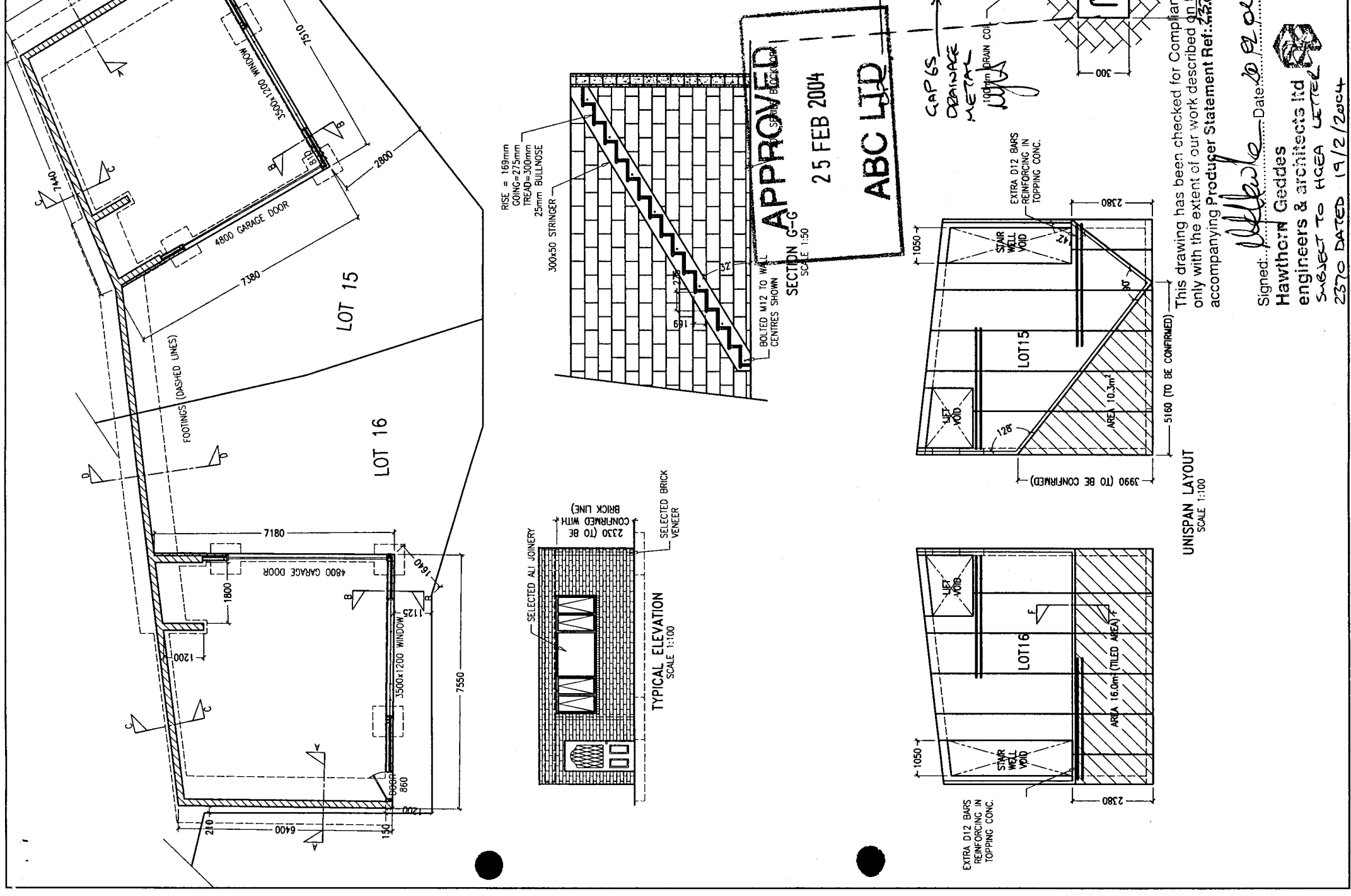
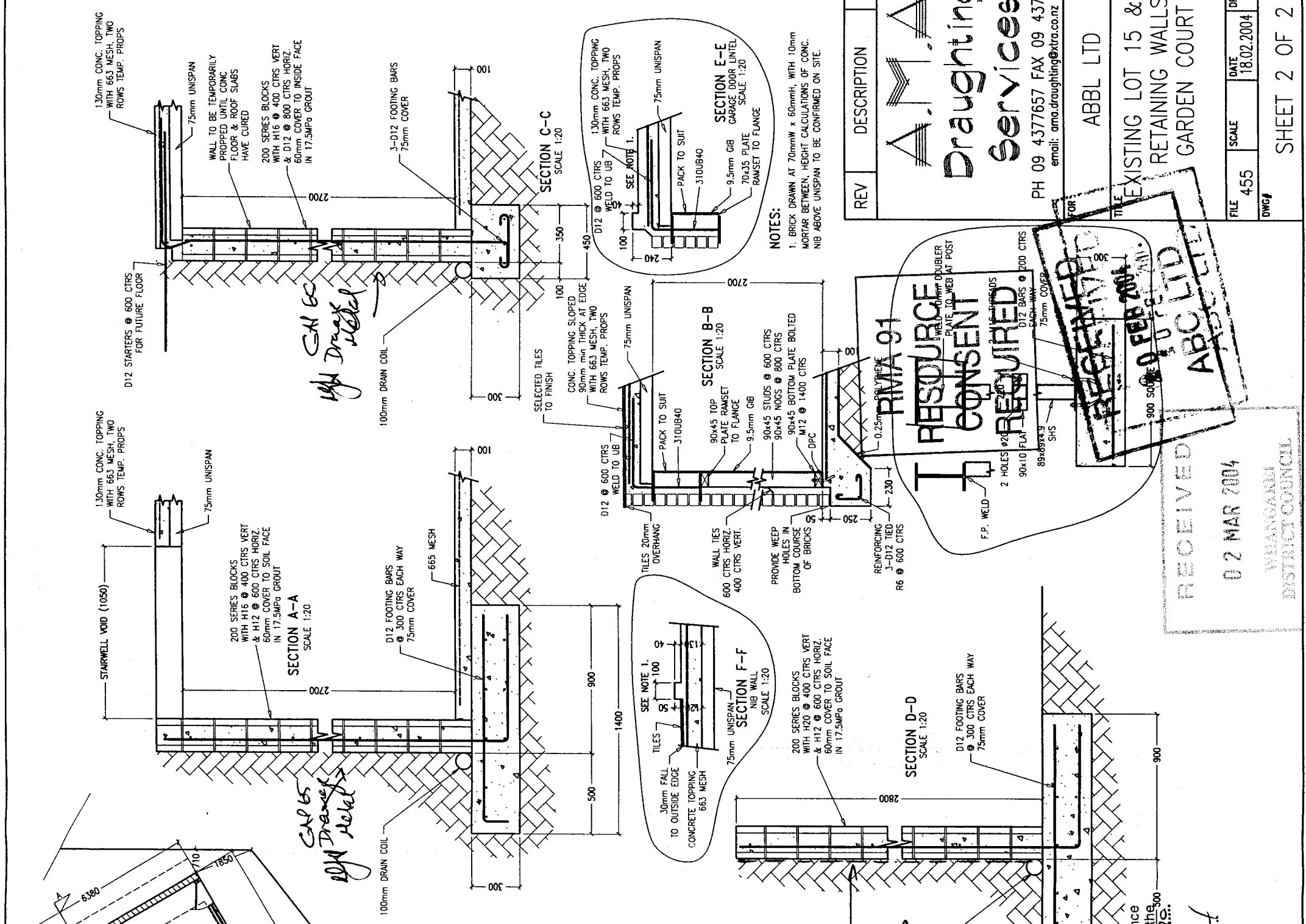
REV	DESCRIPTION	DATE

**A.A.A. Draughting Services**  
 PH 09 4377657 FAX 09 4375221  
 email: ama.draughting@xtra.co.nz

ABBL LTD  
 EXISTING LOT 15 & 16  
 RETAINING WALLS  
 GARDEN COURT

FILE	SCALE	DATE	DRAWN
455		18.02.2004	SJS

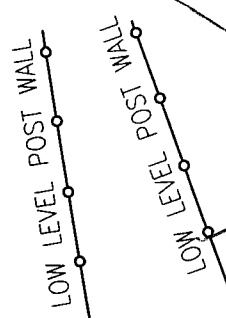
DWG# SHEET 2 OF 2



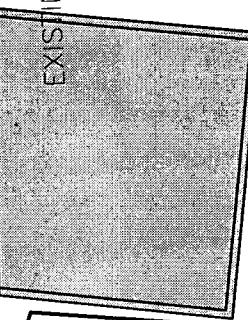
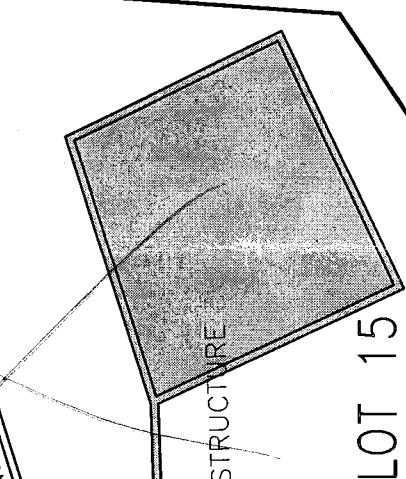
This drawing has been checked for Compliance only with the extent of our work described in the accompanying Producer Statement Ref: 2373...

Signed: *[Signature]* Date: 19/2/04  
**Hawthorn Geddes**  
 engineers & architects ltd  
 SUBJECT TO HCEA LETTER  
 2570 DATED 19/2/2004

LOT 16  
LOT 467m<sup>2</sup>



APPROX. SIZE AND POSITION OF NEW RETAINING WALLS



APPROX SIZE AND POSITION OF NEW RETAINING WALLS.  
ADDITIONAL WALL TO BE ADDED FOR HOUSES. ONCE CUT IS DONE

**APPROVED**  
25 FEB 2004  
ABC LTD

LOT 15  
LOT 350m<sup>2</sup>

LOT 13  
LOT 350m<sup>2</sup>

LOT 14  
LOT 385m<sup>2</sup>

APPROX SIZE AND POSITION OF NEW RETAINING WALLS.  
ADDITIONAL WALL TO BE ADDED FOR HOUSES ONCE CUT IS DONE

LOT 6  
LOT 450m<sup>2</sup>

This drawing has been checked for Compliance only with the extent of our work described on the accompanying Producer Statement Ref: 2370

Signed: *M. Geddes* Date: 20.02.04  
Hawthorn Geddes engineers & architects ltd  
SUBJECT TO HAWTHORN GEDDES ENGINEERS AND ARCHITECTS LETTER 2370 DATED 19 FEBRUARY 2004

RECEIVED  
02 MAR 2004  
WATERLOO DISTRICT COUNCIL

REV	DESCRIPTION	DATE
	<b>A.M.A. Draughting Services</b>	
	PH 09 4377657 FAX 09 4375221 email: amo.draughting@xtra.co.nz	
	FOR ABBL LTD	
	NEW RETAINING WALLS GARDEN COURT	
455	SCALE 1:200	DATE 18.02.2004
	DRAWN SJS	
	SHEET 1 OF 2	

**RMA 91 RESOURCE CONSENT REQUIRED**

NOTES:  
1) ASBUILT PLANS TO BE PROVIDED ONCE WORK IS COMPLETE  
2) ALL BLOCK WALLS AS PER EXISTING LOT 15 & 16 DESIGNS, OR AS PER PROVIDED ENGINEERING CALCULATIONS

RECEIVED  
12 FEB 2004  
ABC LTD

LOT 18  
LOT 450m<sup>2</sup>





Box 361



**Code Compliance Certificate BC0586991**  
**Section 95, Building Act 2004**  
**Issued: 25 June 2009**

**WHANGAREI**  
DISTRICT COUNCIL

---

**The Building**

Street Address of building: 17 Garden Court (Pvt)  
Whangarei 0110

Legal Description of land where building is located: LOT 17 DP 195543  
LLP 085729

Building name: N/A  
Location of building within site/block number: N/A  
Level unit number: N/A  
Current, lawfully established use: N/A  
Year first constructed: N/A

---

**The Owner**

ABBL Developments Limited  
Apotu Road  
RD 1  
Kamo  
Whangarei 0185

Phone number: N/A  
Mobile number: N/A  
Facsimile number: N/A  
Email address: N/A  
Website: N/A

First point of contact for communications with the building consent authority:

**Contact Person**

ABBL Developments Limited  
Apotu Road  
RD 1  
Kamo  
Whangarei 0185

Phone number: N/A  
Mobile number: N/A  
Facsimile number: N/A  
Email address: N/A  
Website: N/A

Street address/registered office: 17 Garden Court (Pvt)  
Whangarei 0110

*Creating the ultimate  
living environment*

Forum North, Private Bag 9023  
Whangarei 0148, New Zealand  
Telephone: +64 9 430 4200  
Facsimile: +64 9 438 7632  
Email: mailroom@wdc.govt.nz  
Website: www.wdc.govt.nz

**Building Work**

**NEW DWELLING**

Building Consent number

BC0586991

Issued by:

Whangarei District Council

---

**Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that –

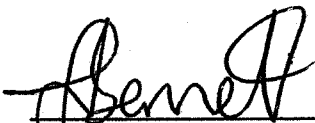
(a) The building work complies with the building consent.

---

**Council Charges**

The Council's total charges payable on the uplifting of this Code Compliance Certificate in accordance with the attached details are: \$0.00

This is a Code Compliance Certificate issued in respect of all the building work under the above building consent.



Signature

BUILDING SUPPORT – CODE COMPLIANCE  
Position

On behalf of: WHANGAREI DISTRICT COUNCIL

25 June 2009

**Code Compliance Certificate BC0586991**

12



WHANGAREI  
DISTRICT COUNCIL

**BUILDING CONSENT No:86991  
Section 51, Building Act 2004**

**Issued:12Dec05  
Project Information Memorandum No 82555**

---

**The Building**

Street Address of building: 17 GARDEN COURT (PVT), WHANGAREI 0101  
Legal Description of land where building is located:  
LOT 17 DP 195543  
LLP No 085729

---

**The Owner**

Name of owner: ABBL DEVELOPMENTS LTD  
Mailing Address: C/- MALCOLM AYLWARD  
APOTU RD  
R D 1 KAMO  
WHANGAREI

Contact Person: ABBL DEVELOPMENTS LTD  
Mailing Address: C/- MALCOLM AYLWARD  
APOTU RD  
R D 1 KAMO  
WHANGAREI

Street address/registered office: 17 GARDEN COURT (PVT)  
WHANGAREI 0101

---

**Building Work**

The following building work is authorised by this consent:

Project: New Building

Intended Use: **NEW DWELLING**

*Creating the ultimate  
living environment*

Forum North, Private Bag 9023  
Whangarei, New Zealand  
Telephone: +64 9 430 4200  
Facsimile: +64 9 438 7632  
Email: mailroom@wdc.govt.nz  
Website: www.wdc.govt.nz

BUILDING CONSENT NO 86991

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

**1: Advice Clause**

This property is known to contain an archaeological site. Please contact the Department of Conservation to confirm the location of this site.

**2: General**

No requirements.

**3: Dust Nuisance**

The applicant must control dust nuisance created by any site or building works.

**4: Toilet Facilities**

Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.

**5: Smoke Alarms**

Smoke alarms are to be installed in compliance with the building code.

## Compliance Schedule

A compliance schedule is not required for the building.



(C E Blakeley)

---

Signature

COMPLIANCE SUPPORT ASSISTANT

---

Position

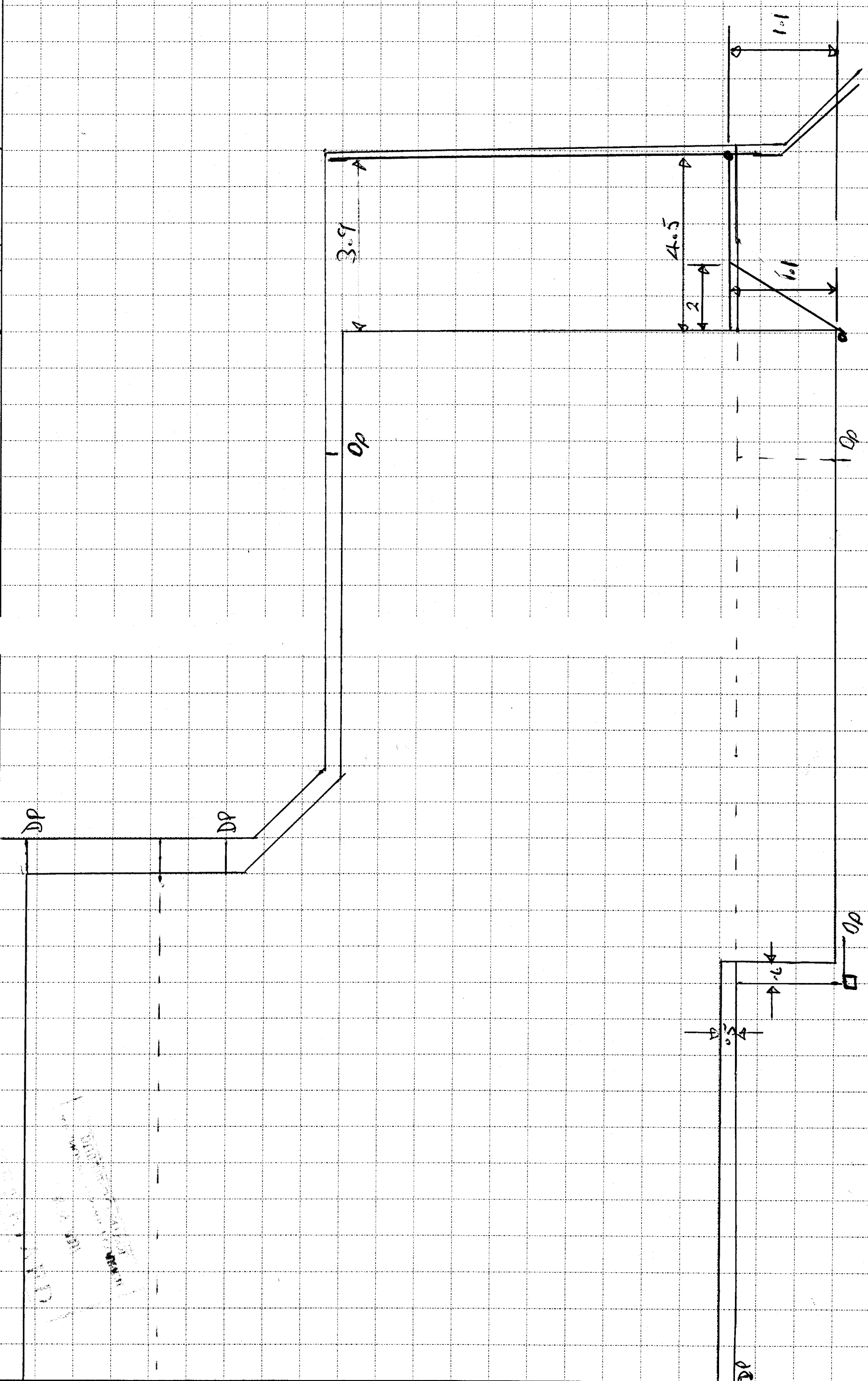
On behalf of: Whangarei District Council

Date: 12 December 2005

**PART C: As Built Services Plan**

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as app

te and attach to this sheet. Ensure that drawing numbers, etc, is noted below)



Scale: \_\_\_\_\_ in \_\_\_\_\_  
Site Address: \_\_\_\_\_

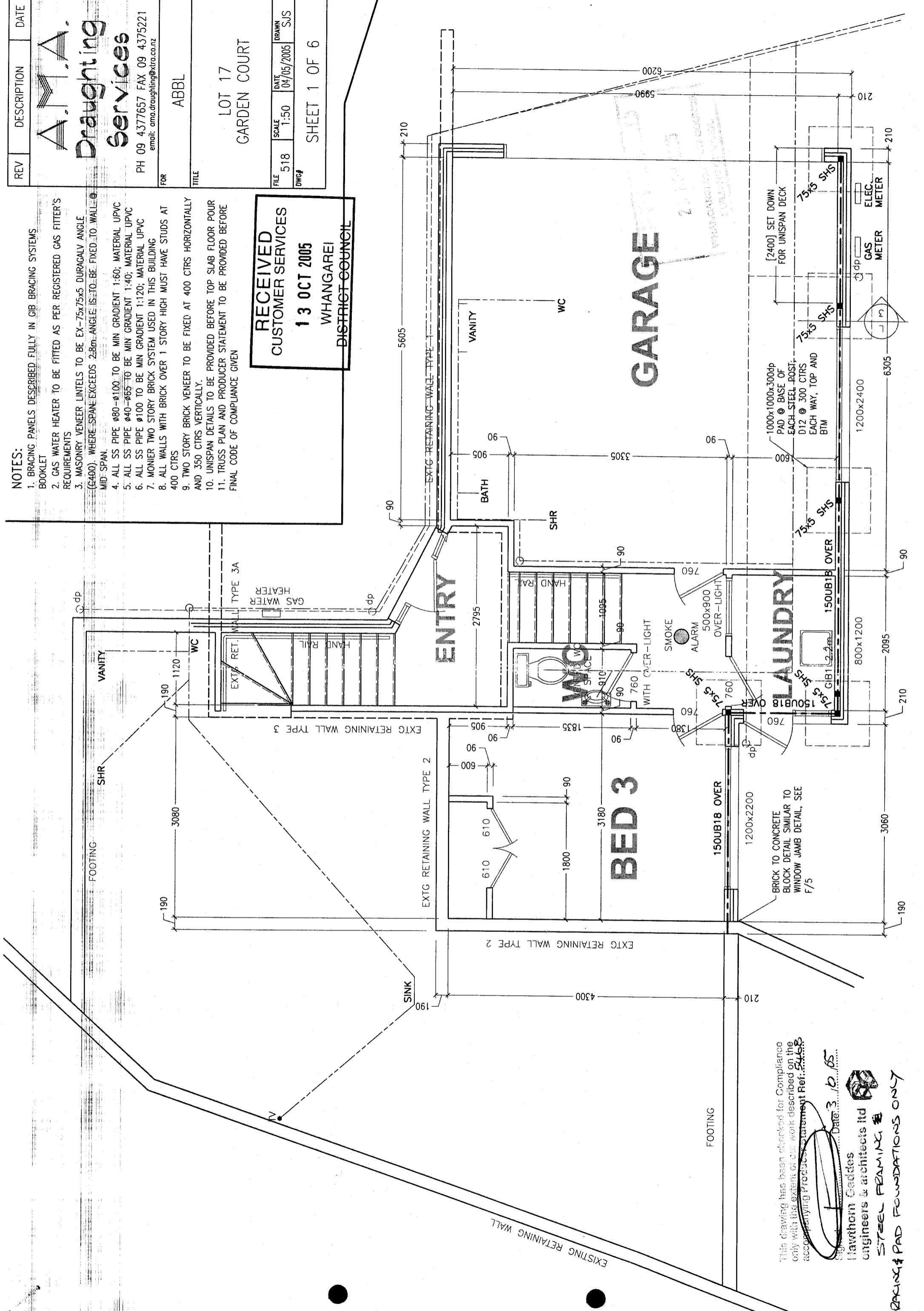
REV	DESCRIPTION	DATE

**A.M.A. Draughting Services**  
 PH 09 4377657 FAX 09 4375221  
 email: ama.draughting@xtra.co.nz

FOR ABBL  
 TITLE LOT 17 GARDEN COURT  
 FILE 518 SCALE 1:50 DATE 04/05/2005 DRAWN SJS  
 DWG# SHEET 1 OF 6

- NOTES:**
- BRACING PANELS DESCRIBED FULLY IN GIB BRACING SYSTEMS BOOKLET
  - GAS WATER HEATER TO BE FITTED AS PER REGISTERED GAS FITTER'S REQUIREMENTS
  - MASONRY VENEER LINTELS TO BE EX-75x75x5 DURAGALV ANGLE (G400). WHERE SPAN EXCEEDS 2.8m, ANGLE IS TO BE FIXED TO WALL @ MID-SPAN.
  - ALL SS PIPE  $\phi 80-\phi 100$  TO BE MIN GRADIENT 1:60; MATERIAL UPVC
  - ALL SS PIPE  $\phi 40-\phi 65$  TO BE MIN GRADIENT 1:40; MATERIAL UPVC
  - ALL SS PIPE  $\phi 100$  TO BE MIN GRADIENT 1:120; MATERIAL UPVC
  - MONIER TWO STORY BRICK SYSTEM USED IN THIS BUILDING
  - ALL WALLS WITH BRICK OVER 1 STORY HIGH MUST HAVE STUDS AT 400 CTRS
  - TWO STORY BRICK VENEER TO BE FIXED AT 400 CTRS HORIZONTALLY AND 350 CTRS VERTICALLY.
  - UNISPAN DETAILS TO BE PROVIDED BEFORE TOP SLAB FLOOR POUR
  - TRUSS PLAN AND PRODUCER STATEMENT TO BE PROVIDED BEFORE FINAL CODE OF COMPLIANCE GIVEN

**RECEIVED  
 CUSTOMER SERVICES  
 13 OCT 2005  
 WHANGAREI  
 DISTRICT COUNCIL**



This drawing has been checked for compliance only with the extent of our work described on the accompanying Producer Statement Ref: 546.8

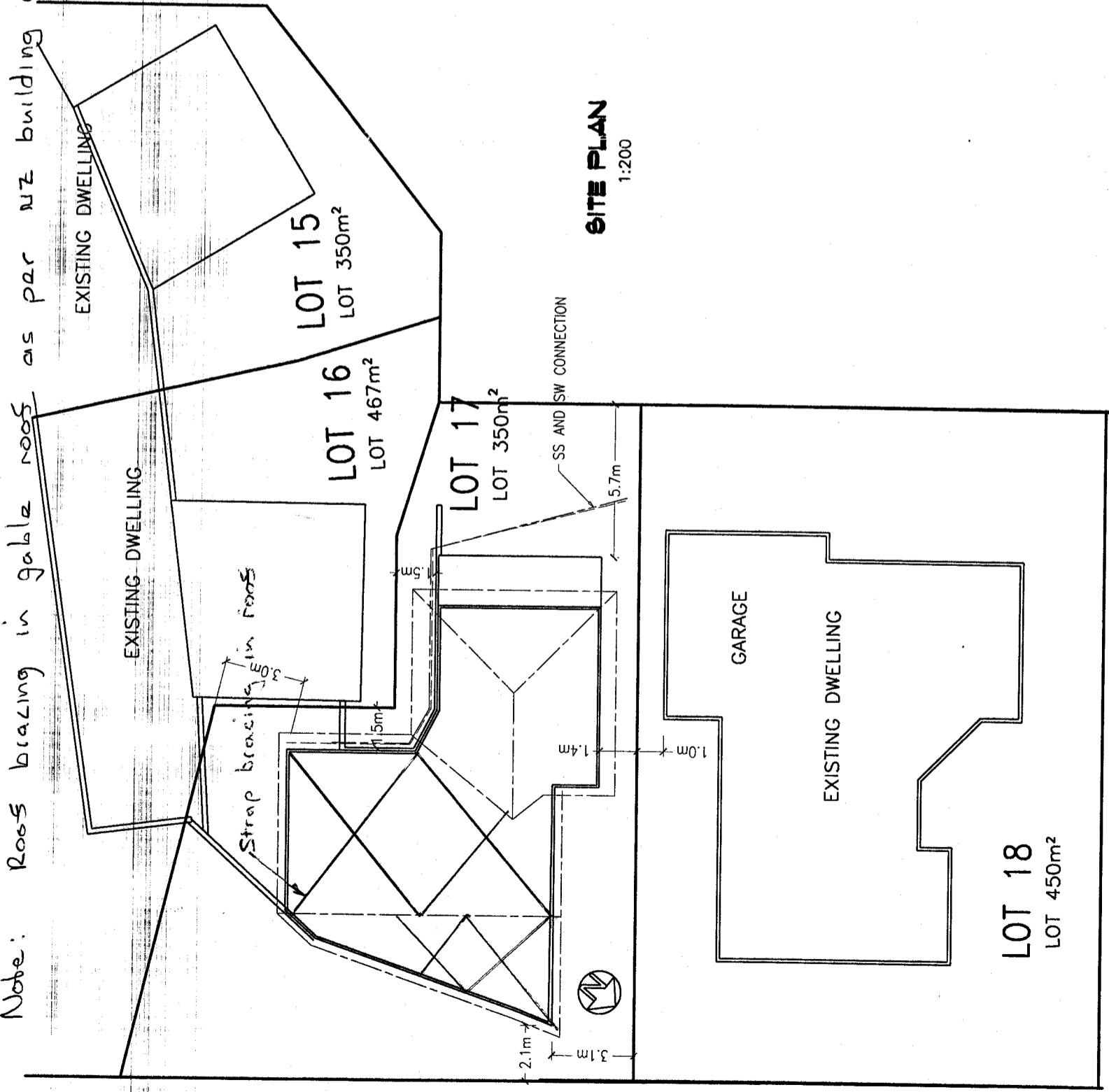
Signature: *[Handwritten Signature]* Date: 3/10/05

Hawthorn Geddes  
 engineers & architects ltd  
 STEEL FRAMING  
 BRACING & PAD FOUNDATIONS ONLY

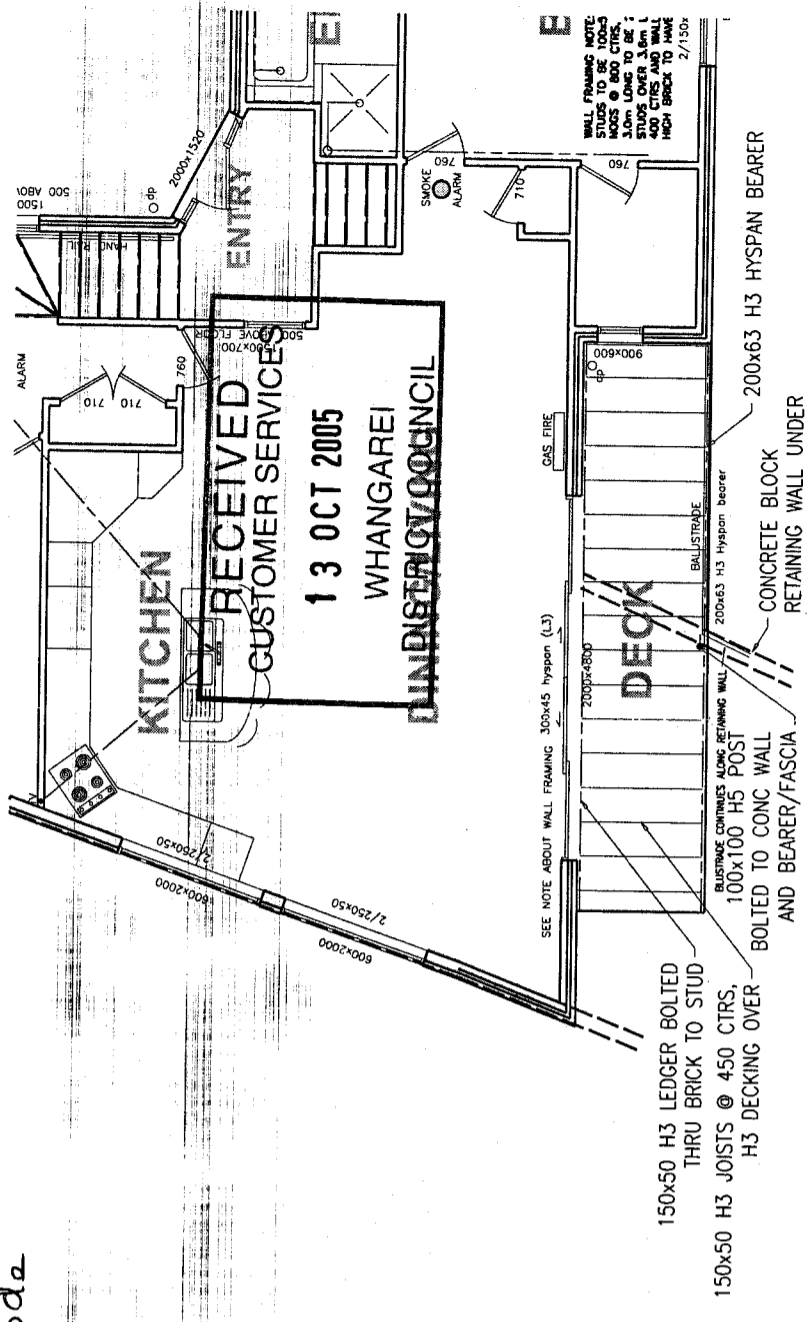




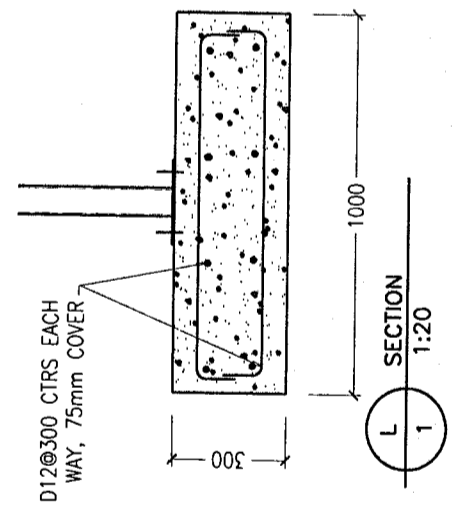
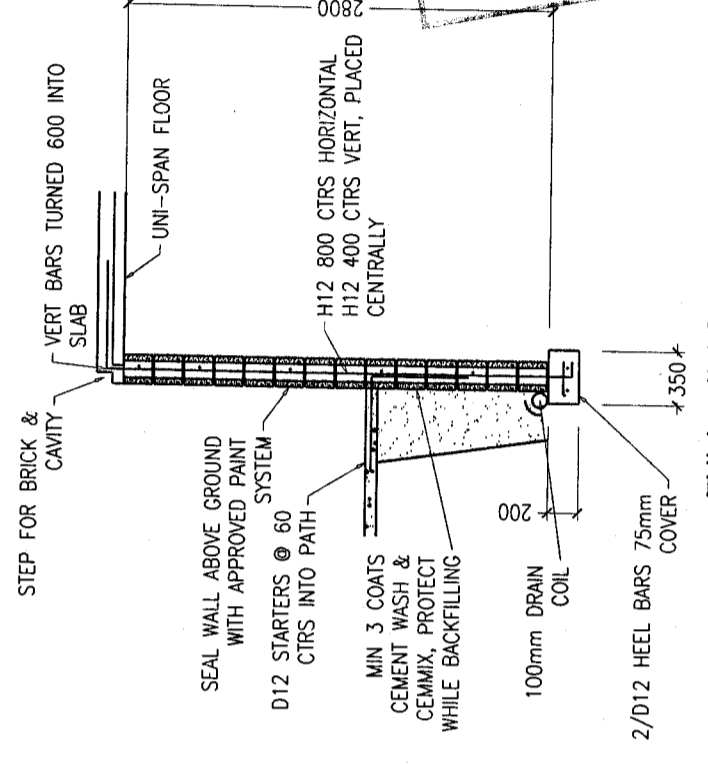
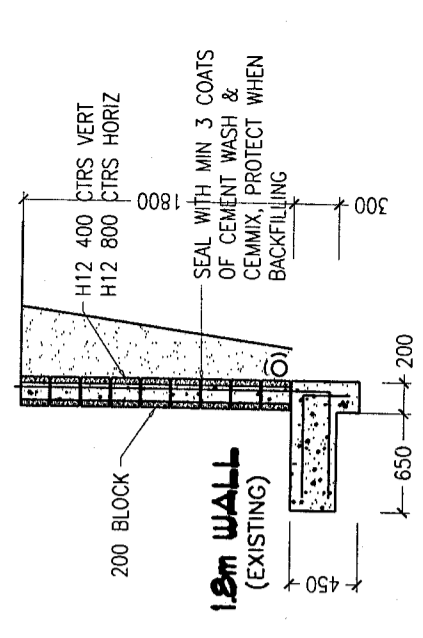
Note: Roofs bracing in gable roofs as per NZ building code



**SITE PLAN**  
1:200



**DECK FRAMING**



This drawing has been checked for compliance only with the extent of work described on the accompanying Producer Statement Ref: 2416.  
 Signed: *[Signature]* Date: 3/10/05  
 Hawthorn-Gardies engineers & architects ltd  
 PAD FOUNDATION & MASONRY RETAINING WALLS

REV	DESCRIPTION	DATE
PH 09 4377657 FAX 09 4375221 email: ama.draughting@xtra.co.nz		
FOR	ABBL	
TITLE	LOT 17 GARDEN COURT	
FILE	SCALE	DATE
518	1:50	04/05/2005
DWG#		DRAWN
		SJS
SHEET 3 OF 6		

MONIER TWO STORY BRICK SLIP LAYER

SELECTED ALUMINIUM HANDRAIL BOLTED TO CONCRETE DECK

SELECTED POWDER COATED ALUMINIUM JOINERY COMPLYING WITH NZS4223 AND NZBC1992

**NORTH ELEVATION**

SELECTED ALUMINIUM HANDRAIL BOLTED TO TIMBER DECK (CONTINUES ALONG RETAINING WALL TOO)

MONIER TWO STORY RICK SLIP LAYER @ MAX 4.0m CTRS

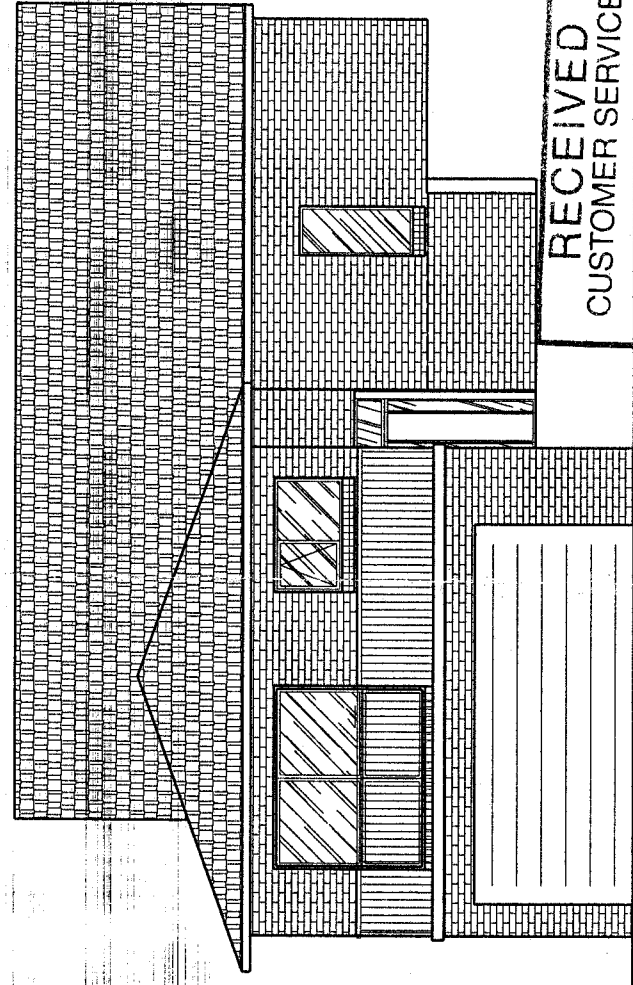
MONIER CONCRETE TILE ROOFING ON 20° PITCH

CEILING LINE

FINISHED GROUND LINE

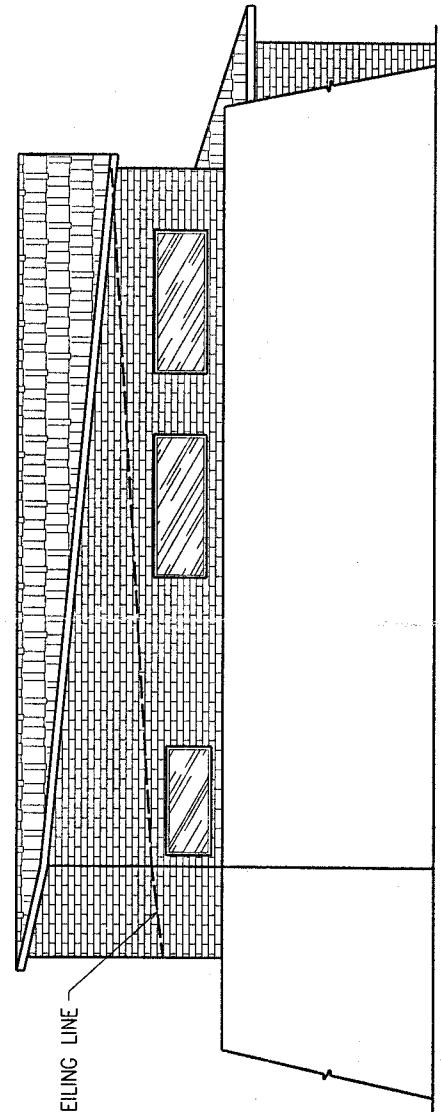
SELECTED POWDER COATED ALUMINIUM JOINERY COMPLYING WITH NZS4223 AND NZBC1992

**SOUTH ELEVATION**



**WEST ELEVATION**

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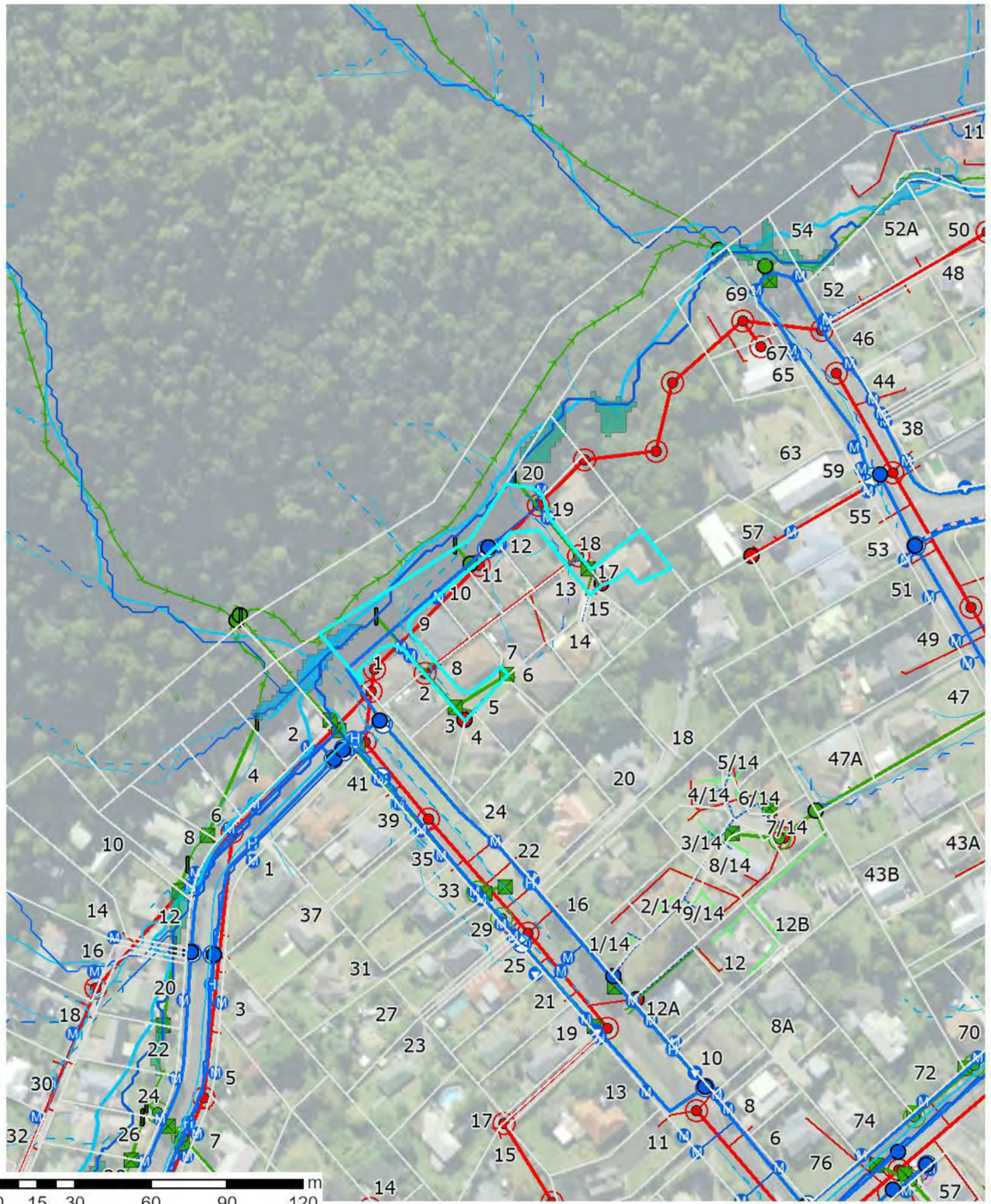
**EAST ELEVATION**

REV	DESCRIPTION	DATE
<b>A.M.A.</b> <b>Draughting Services</b> PH 09 4377657 FAX 09 4375221 email: amodraughting@xtra.co.nz		
FOR	ABBL	
TITLE	LOT 17 GARDEN COURT	
FILE	SCALE	DATE
518	1:100	04/05/2005
DWG#		DRAWN
		SJS
SHEET 6 OF 6		

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# Water, Wastewater and Stormwater



This information is generalized and shows the approximate location of the Public pipeline services.  
For digging, the As-Built engineering drawings must be used to accurately locate the services.  
See WDC Customer Services.

11 March 2025  
Scale 1:2,000

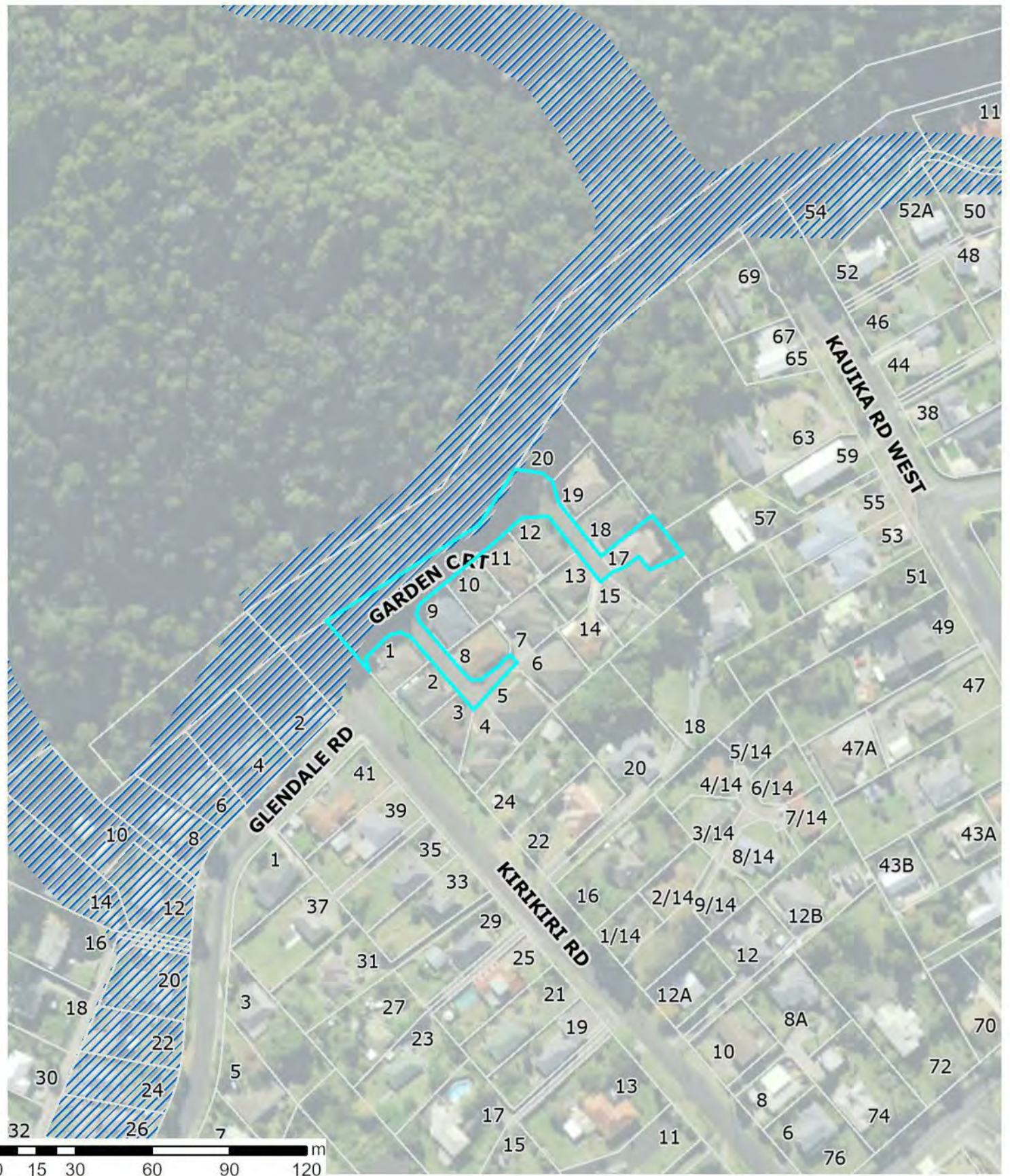




The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Parcel Information is sourced from the Land Information New Zealand (LINZ) Data Service. CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.

# Water, Wastewater and Stormwater – Map Legend

Water	Stormwater	Stormwater Catchment and Flood Management	Wastewater
<b>Water Point</b>	<b>Stormwater Point</b>	<b>Overland Flow Paths 2021</b>	<b>Wastewater Point</b>
<b>Actuator</b>	<b>End Structure</b>	<b>Modelled Catchment Flowpaths 2021</b>	<b>Backflow Device</b>
WDC	WDC	0.2 ha to 0.4 ha	WDC
Private	Private	0.4 ha to 1.0 ha	Private
<b>Backflow Device</b>	<b>Fitting Node</b>	1.0 ha to 3.0 ha	<b>End Structure</b>
WDC	WDC	3.0 ha to 100.0 ha	WDC
Private	Private	100.0 ha and above	Private
<b>Bore</b>	<b>GPT</b>	<b>Surface Depression Ponding Areas 2021</b>	<b>Fitting Node</b>
WDC	WDC	0.200000 - 0.600000 m	WDC
Private	Private	0.600001 - 1.200000 m	Private
WDC	<b>Manhole</b>	1.200001 - 2.000000 m	<b>Manhole</b>
Private	WDC	2.000001 - 4.000000 m	WDC
<b>End Structure</b>	Private	4.000001 - 9.910000 m	Private
WDC	<b>Pump</b>	<b>Overland Flow Paths 2017</b>	<b>Meter</b>
Private	WDC	<b>Catchment Area 2017</b>	WDC
<b>Fitting Node</b>	Private	0.2 - 1.0 Ha	Private
WDC	<b>Stormwater Inlet</b>	1.0 - 2.0 Ha	<b>Motor Control Centre</b>
Private	WDC	2.0 - 5.0 Ha	WDC
<b>Hydrant</b>	Private	> 5.0 Ha	Private
WDC	<b>Valve</b>	<b>Depression Storage Areas 2017</b>	<b>Pump</b>
Private	WDC	Depression Storage Areas	WDC
<b>Meter</b>	Private		Private
WDC	<b>Stormwater Line</b>		<b>Valve</b>
<b>Meter Manifold</b>	<b>Abandoned Pipe</b>		WDC
WDC	WDC		Private
Private	<b>Culvert</b>		<b>Wastewater Line</b>
<b>Pump</b>	WDC		<b>Abandoned Pipe</b>
WDC	Private		WDC
Private	<b>Drainage</b>		<b>Main</b>
<b>Valve</b>	WDC		Rising Main (Pressure)
WDC	Private		Sewer Gravity Main
RED	<b>Main</b>		Private
Private	WDC		Other
<b>Water Line</b>	Private		<b>Process Pipework</b>
<b>Abandoned Pipe</b>	<b>Service Line</b>		WDC
WDC	WDC		Private
<b>Trunk Main</b>	Private		<b>Service Line</b>
WDC	<b>Surface Drain</b>		WDC
Private	WDC		Private
<b>Other Main</b>	Private		<b>Wastewater Area Chamber</b>
WDC	<b>Stormwater Area Basin</b>		WDC
Private	WDC		Private
<b>Process Pipework</b>	Private		<b>Pressure Sewer System</b>
WDC	<b>Chamber</b>		Public
Private	WDC		Private
<b>Reticulation</b>	Private		
WDC			
Private			
<b>Service Line</b>			
WDC			
Private			
<b>Water Area Chamber</b>			
WDC			
Private			
<b>Reservoir</b>			
WDC			
Private			

# Flood Susceptibility Review



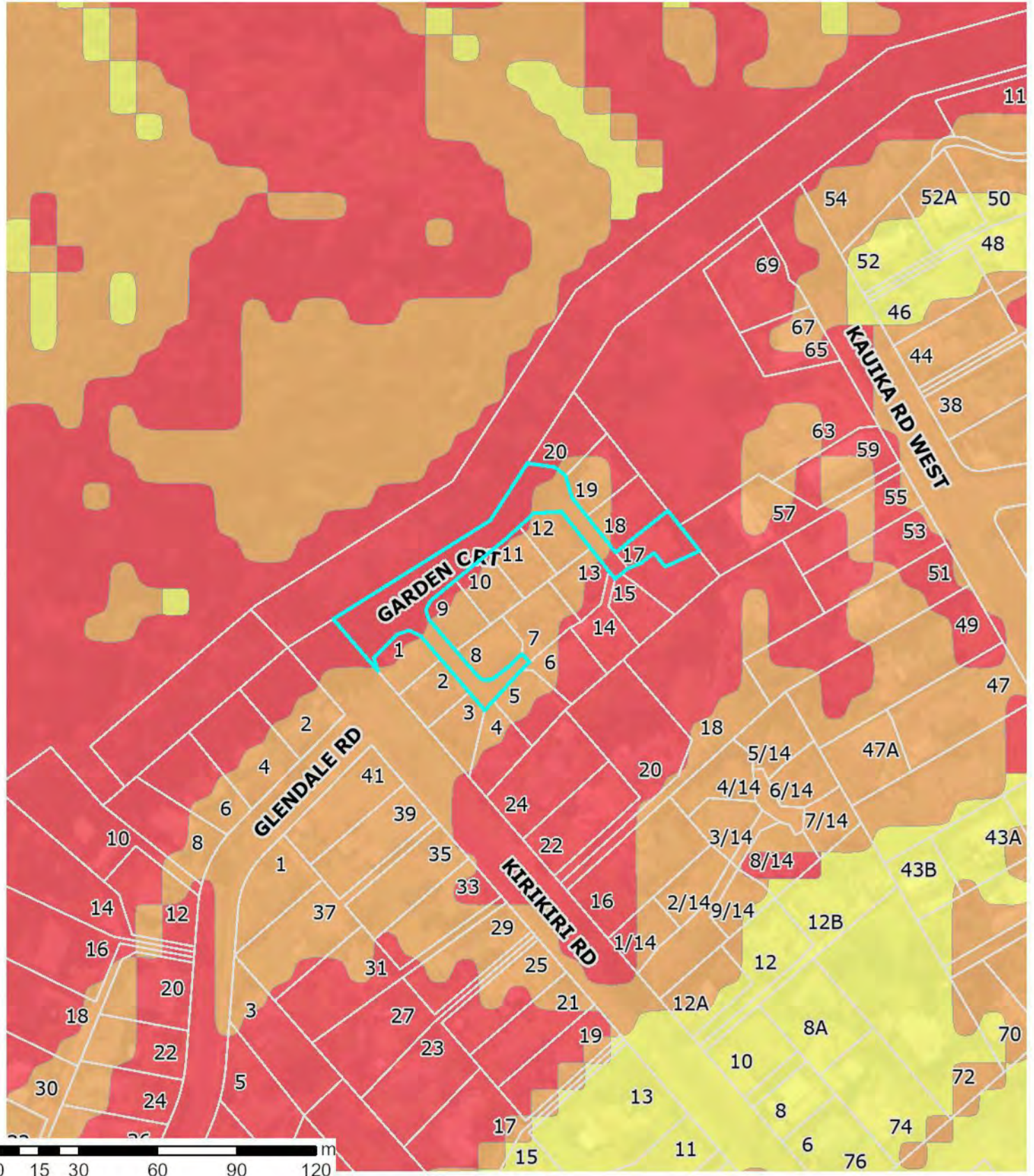
-  Flood Susceptible Accepted by Council Decision for District Plan
-  Variation not accepted by Council

Flood susceptibility areas are symbolized to show both the information from the District Plan Flood Susceptible Areas: 'Accepted by Council Decision' (in diagonal blue) and Additional Flood Susceptible Areas: 'Yet to be accepted by Council' (in diagonal green). Floods information shown is approximate and should not be used as a replacement for site specific investigation and assessments. The absence of hazard information shown does not mean that there is none, only that the information may not yet have been collected.

11 March 2025  
Scale 1:2,000



# Land Stability



## Landslide Susceptibility Zone

- High
- Moderate
- Low

Whangārei District Council holds indicative information on land stability hazard for Whangārei. The Whangārei District Council may require site-specific investigations before granting future subdivision or building consent for the property, depending on the level of stability risk of the area the property is in. Tonkin + Taylor Ltd Landslide Susceptibility assessment report: <https://www.wdc.govt.nz/files/assets/public/documents/council/reports/hazard-reports/land-stability/landslide-susceptibility-technical-report.pdf>

11 March 2025  
Scale 1:2,000

